



## Planning and Zoning Commission Meeting

July 9, 2024

7:00 p.m. – City Hall Council Chambers and Via Videoconference

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Anyone who wishes to view the meeting in real time may do so as it will be streamed live on the city's YouTube page through YouTube Live or may use the Zoom link below to access the meeting.

1. Call to Order
2. [Approve the June 11, 2024, Planning Commission Minutes](#)
3. Staff Report
4. [Site Plan Review 14790 N. Fairview Dr. – Nodaway Valley Bank](#)
  - Site Plan Review for a 4,273 ft<sup>2</sup> bank building.
5. [Street Designation and Name Changes Discussion](#)
  - Fifth St. Circle
  - Fourth St. Terrace
  - Third St. Terrace
  - Northbound/Southbound Commercial Ave/St
  - Eastbound/Westbound Commercial St./Ave to 148<sup>th</sup> Street
6. Adjourn

Join Zoom Meeting

<https://us02web.zoom.us/j/88586462587>

Meeting ID: 885 8646 2587

Passcode: 256039



# SMITHVILLE PLANNING COMMISSION

## REGULAR SESSION

June 11, 2024

7:00 P.M.

City Hall Council Chambers and Via Videoconference

### 1. CALL TO ORDER

Chairman John Chevalier called the meeting to order at 7:01 p.m.

A quorum of the Commission was present: Alderman Melissa Wilson, John Chevalier (via Zoom), Rob Scarborough, Billy Muessig, Deb Dotson and Mayor Damien Boley.

Staff present: Jack Hendrix and Brandi Schuenger.

### 2. MINUTES

The March 12, 2024, Regular Session Meeting Minutes were moved for approval by MAYOR BOLEY, Seconded by MUESSIG.

Ayes 6, Noes 0. Motion carried.

### 3. STAFF REPORT

HENDRIX reported:

Construction continues in various areas throughout the city.

We have several streets that could benefit from name changes. They are listed below:

- Fourth Street Terrace: This is right next to Fourth Street. Staff suggests changing the name of this one to Fourth Terrace.
- Commercial Street/Avenue: Where it starts at Church Street, if you follow it to where it ends by McDonalds at 169 Hwy the names

changes between Commercial Street and Commercial Avenue several times. It would be best if we identified this as either Street or Avenue.

- We also anticipate in the near future that Commercial Street at 169 Hwy will extend farther west towards the industrial park. Staff's thoughts are to adjust the street name as it extends west and make it 148<sup>th</sup> Street instead of a continuation of Commercial Street. The question is should we change it at the intersection of Commercial Street and 169 Hwy or change it on the curve where Shamrock Way and Commercial Street meet?

After a discussion with the commission, it was decided that at Shamrock Way and Commercial Street they would like to see the street name change to 148<sup>th</sup> St. The commission would like to pursue changing the other street names at the locations listed above. Mr. Hendrix will put these changes on a future agenda.

There are 3 potential residential developments that are working on getting items together for Planning Commission review. One of which plans to submit in enough time to hopefully make the August agenda.

#### **4. SITE PLAN REVIEW 100 JAMES ST. – THORNELL, INC / MIKE MCGUIRE**

- **SITE PLAN REVIEW FOR A 7,800 FT<sup>2</sup> ADDITION TO THE EXISTING WAREHOUSE**

HENDRIX stated that this is an addition to the north side of the building to add storage. Stormwater items have been reviewed and approved. There are no traffic issues associated with this. Staff recommends approval of the proposed Site Plan with the condition that applicant convey the James Street right of way on the east side of the parcel to the City of Smithville prior to occupancy of the addition.

MAYOR BOLEY motioned to approve the Site Plan for Thornell, Inc at 100 James Street. Seconded by DOTSON.

**DISCUSSION:**

ALDERMAN WILSON questioned Mr. Hendrix about the condition for approval. Has this been done or will this be done after approval tonight?

HENDRIX stated that it will done quickly. Most likely within the next week.

**THE VOTE:** MUESSIG-AYE, CHEVALIER-AYE, ALDERMAN WILSON-AYE, SCARBOROUGH-AYE, DOTSON-AYE, MAYOR BOLEY-AYE.

**AYES-6, NOES-0. MOTION PASSED**

**5. ADJOURN**

MAYOR BOLEY made a motion to adjourn. MUESSIG seconded the motion.

VOICE VOTE: UNANIMOUS

CHAIRMAN CHEVALIER declared the session adjourned at 7:17 p.m.

NOT YET APPROVED



**Planning and Zoning Commission  
Procedural Summary**

**MEETING DATE:** 7/9/2024

**ACTION ITEM:** Site Plan Review

**AGENDA ITEM:** 14790 N. Fairview Dr. Site Plan

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**REQUESTED COMMISSION ACTION:**

A motion to approve the Site Plan submitted.

**SUMMARY OF PROCEDURE:**

The application is to approve a site plan for a new, 4,273 ft<sup>2</sup>, bank building with four drive thru lanes.

When reviewing the submissions, the commission should be guided by the following:

1. The extent to which the proposal conforms to these regulations.
2. The extent to which the development would be compatible with the surrounding area.
3. The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.
4. The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.
5. The extent to which the proposal conforms to the adopted engineering standards of the City.
6. The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.
7. The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:
  - a. Preserve existing off-site views and create desirable on-site views;
  - b. Conserve natural resources and amenities available on the site;
  - c. Minimize any adverse flood impact;
  - d. Ensure that proposed structures are located on suitable soils;
  - e. Minimize any adverse environmental impact; and
  - f. Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.

The commission can recommend approval, approval with conditions or deny the application.

**ATTACHMENTS:**

- Plans       Staff Report       Other:



STAFF REPORT  
June 28, 2024  
Site Plan Review of Parcel Id #05-917-00-07-008.02

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Application for a Site Plan Approval

Code Sections:  
400.390 – 400.440                      Site Plan Approval

Property Information:

Address:                                      14790 N. Fairview Dr..  
Owner:                                        Nodaway Valley Bank  
Current Zoning:                              B-3P

Application Date:                              June 14, 2024

GENERAL DESCRIPTION:

Applicant seeks to obtain site plan approval for a 4,273 square foot building on lot 1 of Fairview Crossing North subdivision. Lot 1 was amended to include 60' of Lot 2 in order to accommodate a bank building with 4 drive-thru lanes. The original Lots 1 and 2 has conceptual plan approval for two buildings totaling 12,020 square feet. By reducing the building size, the project is well within the zoning plan limits. This project will also limit the size of any building on Lot 2 from 6,020, to substantially smaller due to the reduced lot size.

Section 400.410 Standard of Review

1. The extent to which the proposal conforms to these regulations.  
*Meets the site plan standards*
2. The extent to which the development would be compatible with the surrounding area.  
*Compliments the buildings to the east substantially and is similar to the current Central Bank of the Midwest property just a few hundred feet south.*

3. The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.

*The subdivision was created and approved in accordance with the Overlay district process to create the B-3P zoning. The first two buildings to develop have reduced the overall coverage and density approved in the Conceptual plan.*

4. The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.

*Complies fully by using the conceptual plan provisions that allow modifications to the approved densities if they are reduced.*

5. The extent to which the proposal conforms to the adopted engineering standards of the City.

*The layout includes stormwater detention as approved with the conceptual plan, reduces the total number of vehicles previously subscribed to the lot, and is mindful of a waterline easement along the south portion of the original lot 1.*

6. The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.

*Complies.*

7. The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:

a. Preserve existing off-site views and create desirable on-site views;

*On-site views will remain substantially commercial in nature from the original strip mall and undeveloped land to the east.*

b. Conserve natural resources and amenities available on the site;

*The site is vacant following the demolition of the strip mall several years ago, so no valuable natural resources existed on lot 1.*

c. Minimize any adverse flood impact;

*Project includes a storm detention basin in accordance with the approved conceptual plan.*

d. Ensure that proposed structures are located on suitable soils;

*The project engineer is aware of the previous building on site and will adjust footings based upon the soil types.*

e. Minimize any adverse environmental impact; and

*No adverse environmental impact is known.*

f. Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.

*All utilities are available on site and engineers have adjusted the site plan to protect a waterline that bisects the revised Lot 1..*

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Site Plan with the condition that no permit shall issue on the remaining Lots 2 and 3 will revise their traffic impacts based upon the approved TIS.

Respectfully Submitted,

S/Jack Hendrix/S  
Director of Development

# Nodaway Valley Bank - Smithville Branch

## Surrounding Structures



Garrison Family Dentistry



McDonald's



**Project Location**  
Nodaway Valley Bank  
1609 N 169 Hwy  
Smithville, MO 64089



A1 Location Map  
Not to Scale

### PROJECT INFORMATION:

Project Name: Nodaway Valley Bank - Smithville Branch  
Project Address: 1601 N 169 Hwy  
Smithville, MO 64089  
Proposed Use: Commercial, Retail Bank  
Code Jurisdiction: Smithville, MO

Description of Work: The project scope includes construction of a new one-story drive-thru retail credit union building and new drive thru canopy with new site amenities, off-street parking, and curb cuts.

Building Codes: 2018 International Building Code  
2018 International Plumbing Code  
2018 International Mechanical Code  
2018 International Fuel Gas Code  
2018 International Fire Code  
2018 International Energy Efficiency Code  
2017 National Electrical Code

### Site Information

Land Description: Smithville, Clay County, Missouri  
Zoning: B-3 General Business District  
Site Area: 60,670 SF (1.39 acres)

### Building Information

Construction Type: Type II-B  
Exterior Bearing Walls: 0-Hour  
Exterior Nonbearing Walls: 0-Hour  
< 10' Fire Separation: 1-Hour  
> 10' Fire Separation: 0-Hour  
Interior Bearing Walls: 0-Hour  
Interior Nonbearing Walls: 0-Hour  
Structural Frame: 0-Hour  
Floor: 0-Hour  
Roof: 0-Hour  
Corridors: 0-Hour  
Automatic Sprinkler: First Floor - Not Sprinklered;  
Basement - Sprinklered  
Occupancy Type: Group B - Business

### General Building Heights & Areas

Allowable Height: 55 feet, 3-stories  
Allowable Gross Area: 46,000 SF  
Actual Height: 1-story, 29'-0" (at tower)  
Actual Area: First Floor: 3,950 SF  
Basement: 3,838 SF  
Total Area: 7,788 SF

### Means of Egress

Occupant Load: First Floor: 27 Occupants  
Basement: 16 Occupants  
Total Occupant Load: 43 Occupants  
1 required, 2 provided  
Number of Exits Required: 200-feet allowed  
Exit Access Travel Distance: 75-feet maximum allowed (more than 30' provided: Less than 75-feet)  
Common Path of Travel: Provided: 60'-11" (Required: min. 45'-6.5")  
Distance between Exits: Shall not exceed 20 feet on First Floor;  
Dead Ends: Shall not exceed 50 feet in Basement

Minimum Door Width: 43 occupants x 2" = 8.6" total

### Accessibility

All construction shall meet the minimum requirements of the Americans with Disabilities Act and ANSI 117.1  
Elevator (3002.4) connecting less than four stories - not required to accommodate a stretcher.

### Parking Information

Existing parking: 0 spaces  
Parking spaces: 1 space per 300 sf  
15 required; 25 provided  
ADA Parking: 1 required per every 25 spaces; 2 provided  
Queue Spaces: 3 spaces provided for each drive-thru aisle  
Drive Aisles: 24' for 2-way traffic and 90-degree parking

Number of Employees: 10-12 employees

### SHEET INDEX: Site Plan Review

#### GENERAL

A1 Cover Sheet

#### CIVIL

C1.0 Site Plan  
C2.0 Dimension Plan  
C2.1 Dimension Plan  
C2.2 Dimension Plan  
C3.0 Grading Plan  
C3.1 Grading Plan  
C3.2 Grading Plan  
C4.0 Utility Plan  
C5.0 Erosion Control Plan  
C6.0 250' Surrounding Area

#### LANDSCAPE

L1 Landscape Plan

#### ARCHITECTURAL

A2 Architectural Site Plan  
A3 Floor Plans & Site Details  
A4 Exterior Elevations  
A5 Exterior Elevations

#### MECHANICAL / ELECTRICAL / PLUMBING

SL1.0 Site Plan - Photometrics



Building Entry



Lobby



Drive Thru



Building Side

\*Renderings shown for graphic representation only.

### Annotations and Symbols

Detail Number	A1/30.01	Interior Elevation	0' 2' 4' 8'	Graphic Scale
Sheet Number	30.01	Name	Elevation Mark	
Detail Number	A1	Detail Reference	ROOM NAME	Door Number
Sheet Number	30.01	Detail Reference	101	Room Name
Detail Number	A1	Section Reference	101	Room Number
Sheet Number	30.01	Section Reference	101	Revision Reference
Detail Number	A1	View Title	9' - 0"	Ceiling Height
Sheet Number	30.01	View Title	1/8" = 1'-0"	Scale
Origin Sheet Number		View Title	A	Wall Tag
		View Title	NORTH	North Arrow

### Symbols Legend

Not to Scale

## Nodaway Valley Bank - Smithville Branch

1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank

P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

ISSUED FOR:

Site Plan Review 14 June 2024

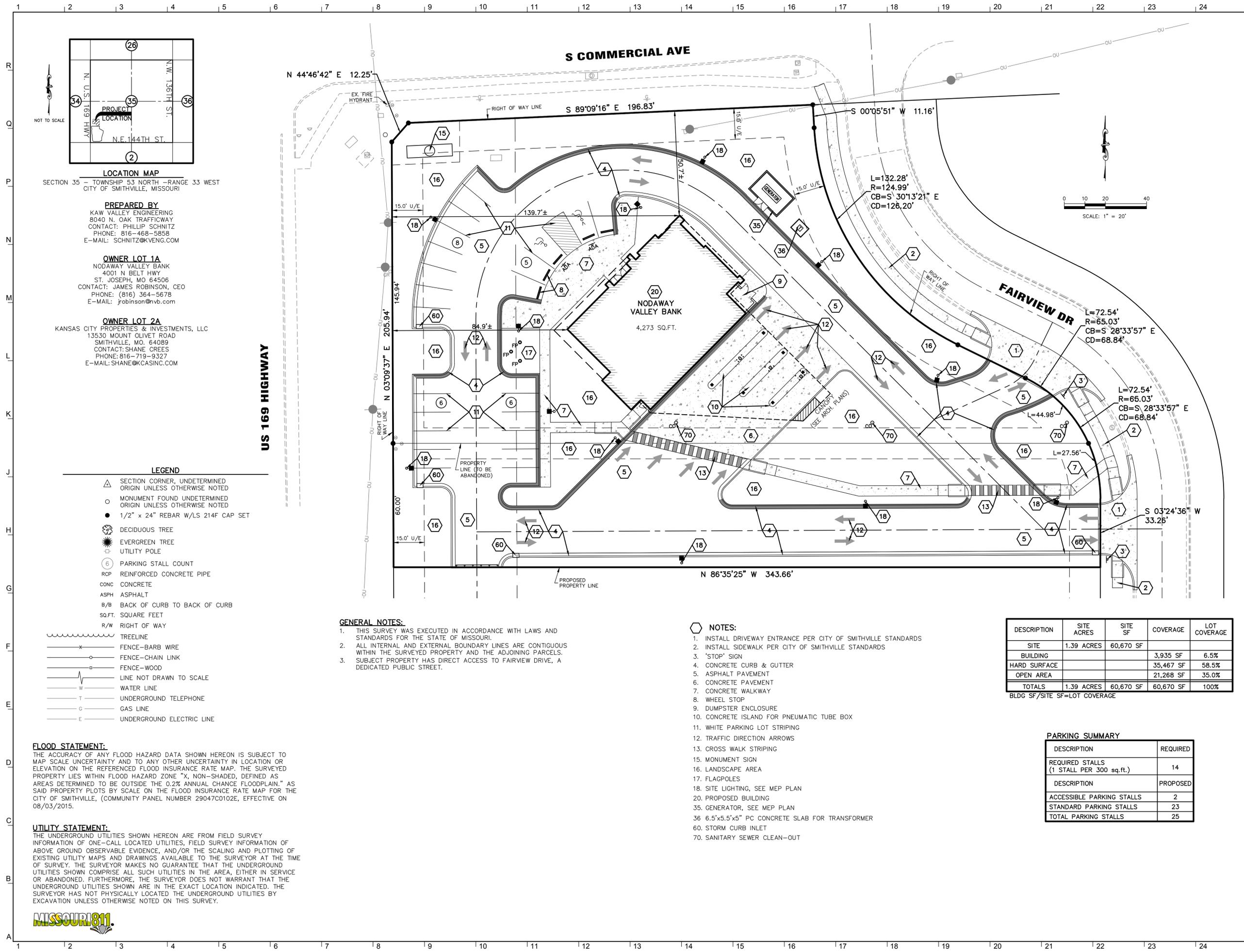
Missouri Certificate of Authority: #ARC000344

NOT FOR CONSTRUCTION

Drawn By: SW  
Checked By: AM

Cover Sheet

# A1



**LOCATION MAP**  
SECTION 35 - TOWNSHIP 53 NORTH - RANGE 33 WEST  
CITY OF SMITHVILLE, MISSOURI

**PREPARED BY**  
KAW VALLEY ENGINEERING  
8040 N. OAK TRAFFICWAY  
CONTACT: PHILIP SCHNITZ  
PHONE: 816-468-5858  
E-MAIL: SCHNITZ@KVENG.COM

**OWNER LOT 1A**  
NODAWAY VALLEY BANK  
4001 N BELT HWY  
ST. JOSEPH, MO 64506  
CONTACT: JAMES ROBINSON, CEO  
PHONE: (816) 364-5678  
E-MAIL: jrobinson@nvb.com

**OWNER LOT 2A**  
KANSAS CITY PROPERTIES & INVESTMENTS, LLC  
13530 MOUNT OLIVET ROAD  
SMITHVILLE, MO. 64089  
CONTACT: SHANE CREES  
PHONE: 816-719-9327  
E-MAIL: SHANE@KCCASINC.COM

**LEGEND**

- △ SECTION CORNER, UNDETERMINED ORIGIN UNLESS OTHERWISE NOTED
- MONUMENT FOUND UNDETERMINED ORIGIN UNLESS OTHERWISE NOTED
- 1/2" x 24" REBAR W/LS 214F CAP SET
- 🌳 DECIDUOUS TREE
- 🌲 EVERGREEN TREE
- 📍 UTILITY POLE
- ⑥ PARKING STALL COUNT
- RCF REINFORCED CONCRETE PIPE
- CONC CONCRETE
- ASPH ASPHALT
- B/B BACK OF CURB TO BACK OF CURB
- SO.FT. SQUARE FEET
- R/W RIGHT OF WAY
- ~~~~~ TREELINE
- x— FENCE—BARB WIRE
- o— FENCE—CHAIN LINK
- FENCE—WOOD
- - - LINE NOT DRAWN TO SCALE
- W— WATER LINE
- T— UNDERGROUND TELEPHONE
- G— GAS LINE
- E— UNDERGROUND ELECTRIC LINE

**GENERAL NOTES:**

1. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH LAWS AND STANDARDS FOR THE STATE OF MISSOURI.
2. ALL INTERNAL AND EXTERNAL BOUNDARY LINES ARE CONTIGUOUS WITHIN THE SURVEYED PROPERTY AND THE ADJOINING PARCELS.
3. SUBJECT PROPERTY HAS DIRECT ACCESS TO FAIRVIEW DRIVE, A DEDICATED PUBLIC STREET.

**NOTES:**

1. INSTALL DRIVEWAY ENTRANCE PER CITY OF SMITHVILLE STANDARDS
2. INSTALL SIDEWALK PER CITY OF SMITHVILLE STANDARDS
3. "STOP" SIGN
4. CONCRETE CURB & GUTTER
5. ASPHALT PAVEMENT
6. CONCRETE PAVEMENT
7. CONCRETE WALKWAY
8. WHEEL STOP
9. DUMPSTER ENCLOSURE
10. CONCRETE ISLAND FOR PNEUMATIC TUBE BOX
11. WHITE PARKING LOT STRIPING
12. TRAFFIC DIRECTION ARROWS
13. CROSS WALK STRIPING
15. MONUMENT SIGN
16. LANDSCAPE AREA
17. FLAGPOLES
18. SITE LIGHTING, SEE MEP PLAN
20. PROPOSED BUILDING
35. GENERATOR, SEE MEP PLAN
36. 6.5'x5.5'x5" PC CONCRETE SLAB FOR TRANSFORMER
60. STORM CURB INLET
70. SANITARY SEWER CLEAN-OUT

DESCRIPTION	SITE ACRES	SITE SF	COVERAGE	LOT COVERAGE
SITE	1.39 ACRES	60,670 SF		
BUILDING			3,935 SF	6.5%
HARD SURFACE			35,467 SF	58.5%
OPEN AREA			21,268 SF	35.0%
<b>TOTALS</b>	<b>1.39 ACRES</b>	<b>60,670 SF</b>	<b>60,670 SF</b>	<b>100%</b>

BLDG SF/SITE SF=LOT COVERAGE

**PARKING SUMMARY**

DESCRIPTION	REQUIRED
REQUIRED STALLS (1 STALL PER 300 sq.ft.)	14
DESCRIPTION	PROPOSED
ACCESSIBLE PARKING STALLS	2
STANDARD PARKING STALLS	23
<b>TOTAL PARKING STALLS</b>	<b>25</b>

**FLOOD STATEMENT:**

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF SMITHVILLE, (COMMUNITY PANEL NUMBER 29047C0102E, EFFECTIVE ON 08/03/2015.

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.



**GastingerWalker &**  
Interior Designers  
Architects  
817 Wyanette  
Kansas City, Missouri 64105  
816.421.8200  
gastingerwalker.com

Civil Engineer  
Kaw Valley Engineering  
8040 North Oak Trafficway  
Kansas City, MO 64118  
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MEP Engineer  
PKMR Engineers  
13300 W. 98th Street  
Lenexa, KS 66215  
913-492-2400

Structural Engineer  
Apex Engineers, Inc.  
1625 Locust Street  
Kansas City, MO 64108  
816-421-3222



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1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank

P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

ISSUED FOR:

Site Plan Review 14 June 2024

Missouri Certificate of Authority: #ARC000344

**FOR REVIEW**

Drawn By: JAD  
Checked By: MAC

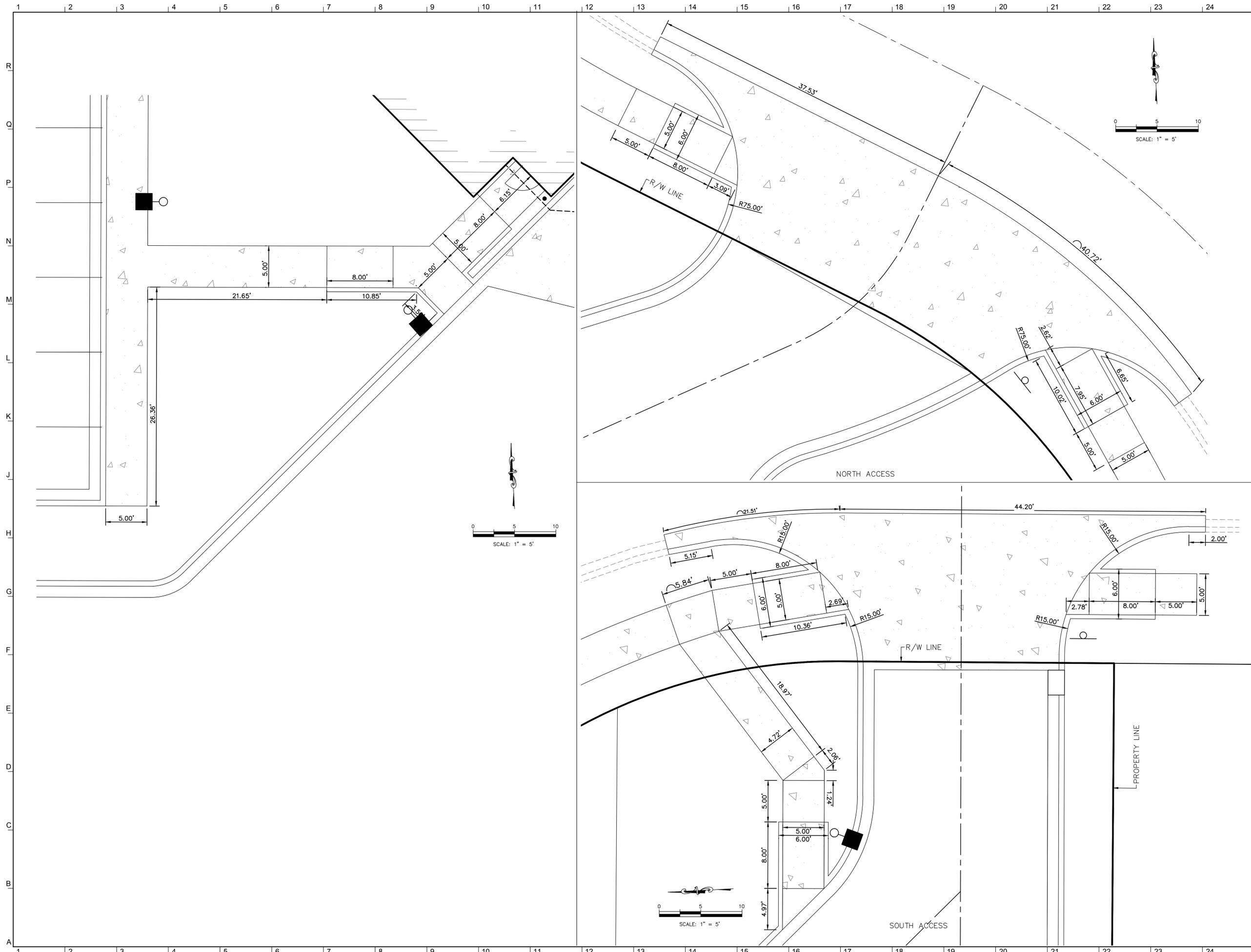
SITE PLAN

**C1.0**

Project Number: 2023-169 © Copyright 2024







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Missouri Certificate of Authority: #ARC000344

**FOR REVIEW**

Drawn By JAD  
 Checked By MAC

DIMENSION PLAN

# C2.2

Project Number: 2023-169 © Copyright 2024

Y:\B23\_4707\CD21\USN\DEV\7070DM.dwg, 6/14/2024 8:24:16 AM, jerrynd

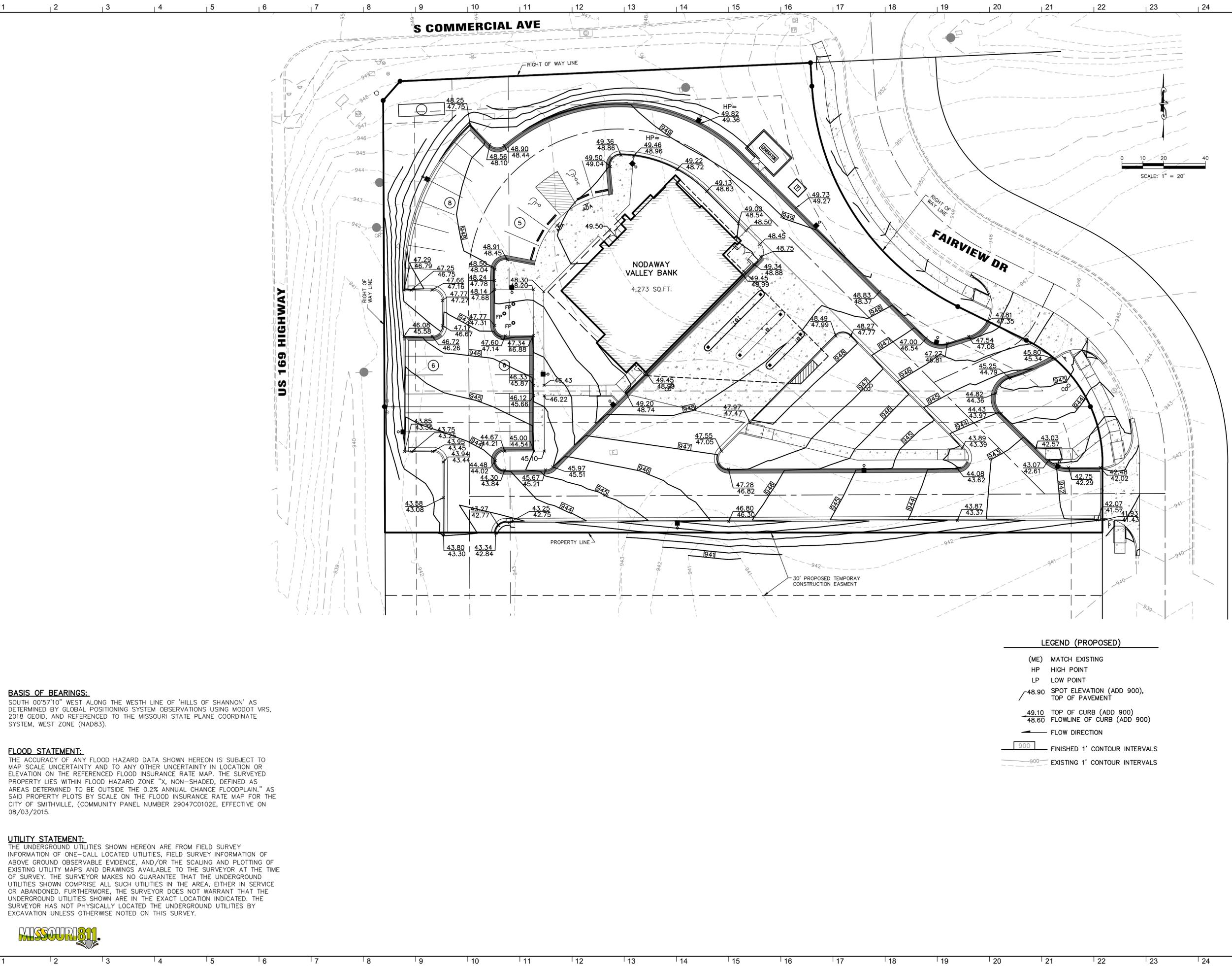
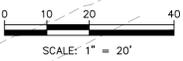
S COMMERCIAL AVE

RIGHT OF WAY LINE

US 169 HIGHWAY

NODAWAY VALLEY BANK  
4,273 SQ.FT.

FAIRVIEW DR



**BASIS OF BEARINGS:**  
SOUTH 00°57'10" WEST ALONG THE WEST LINE OF 'HILLS OF SHANNON' AS DETERMINED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS USING MODOT VRS, 2018 GEOID, AND REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD83).

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**LEGEND (PROPOSED)**

(ME)	MATCH EXISTING
HP	HIGH POINT
LP	LOW POINT
48.90	SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
49.10	TOP OF CURB (ADD 900)
48.60	FLOWLINE OF CURB (ADD 900)
←	FLOW DIRECTION
900	FINISHED 1' CONTOUR INTERVALS
900	EXISTING 1' CONTOUR INTERVALS

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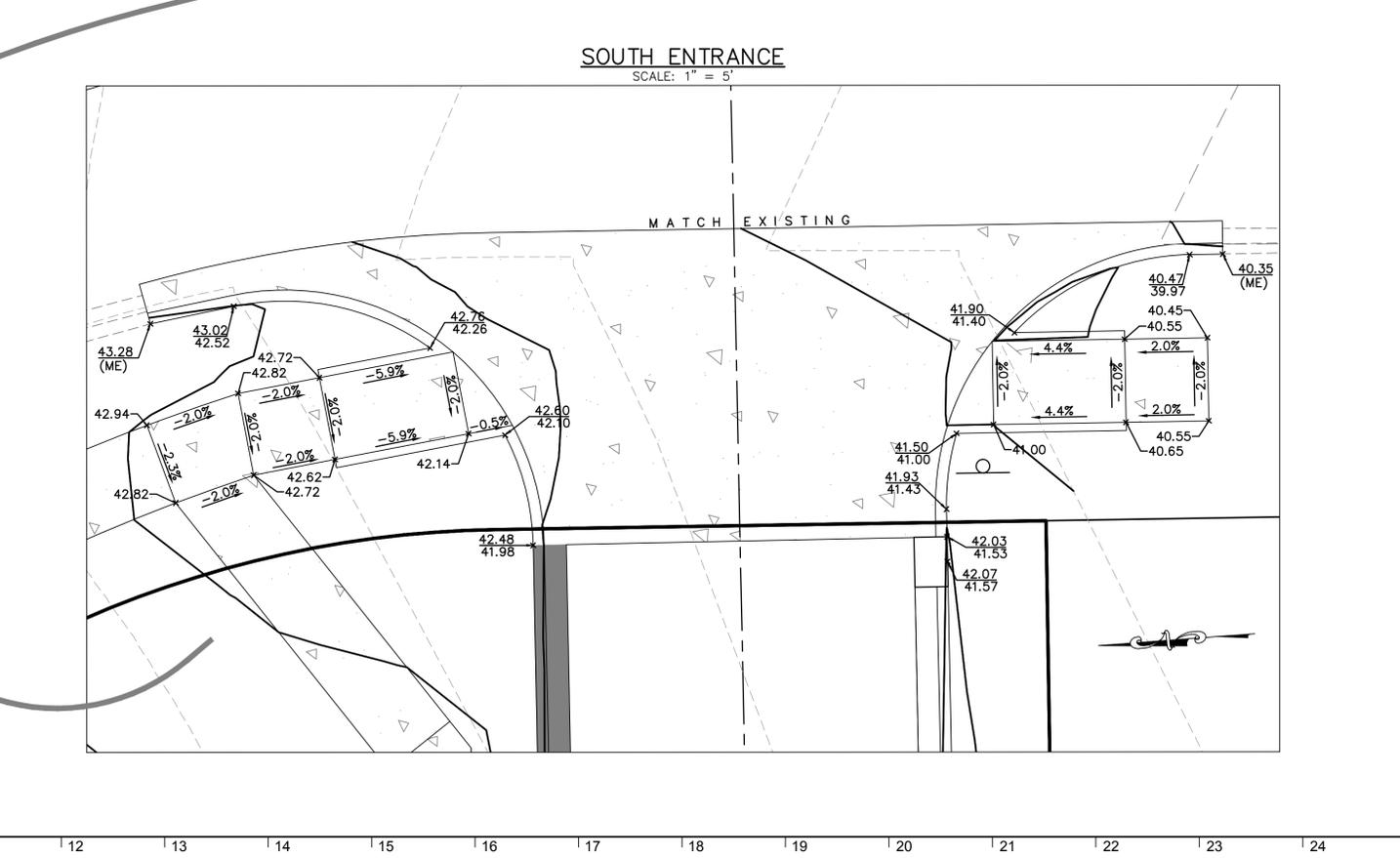
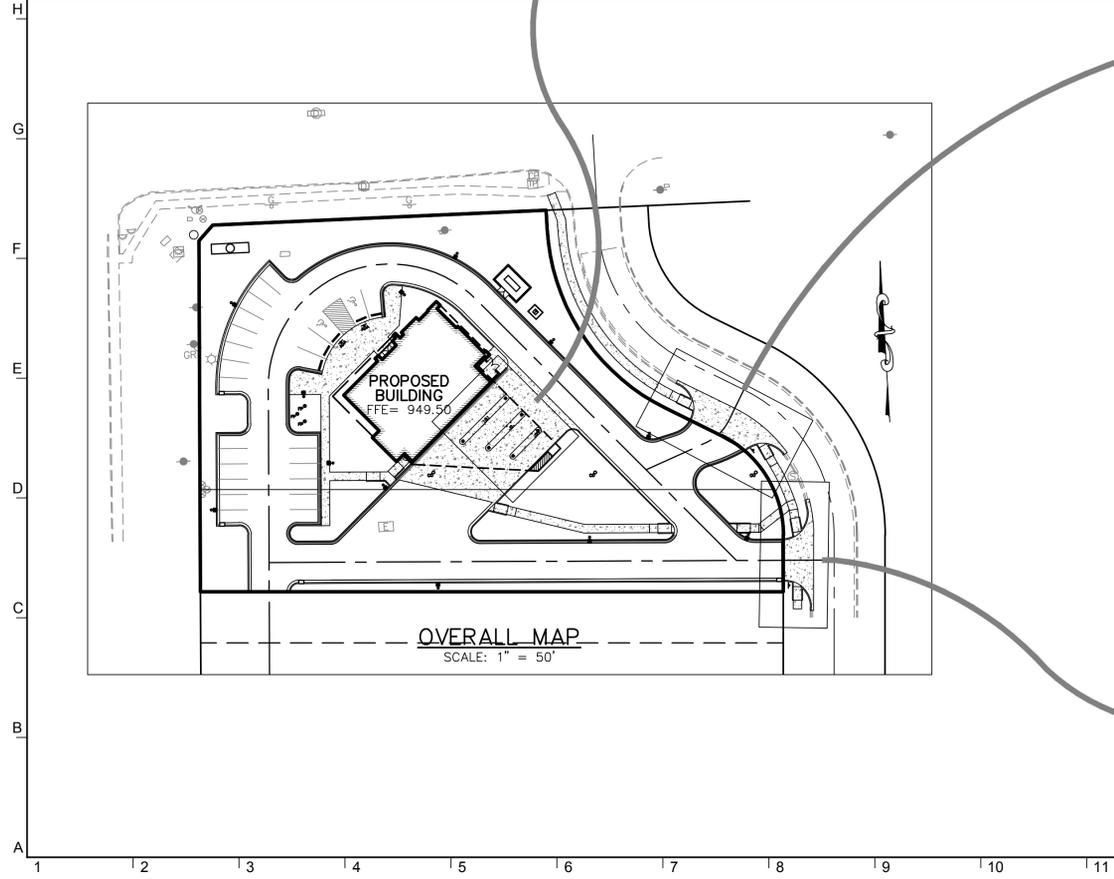
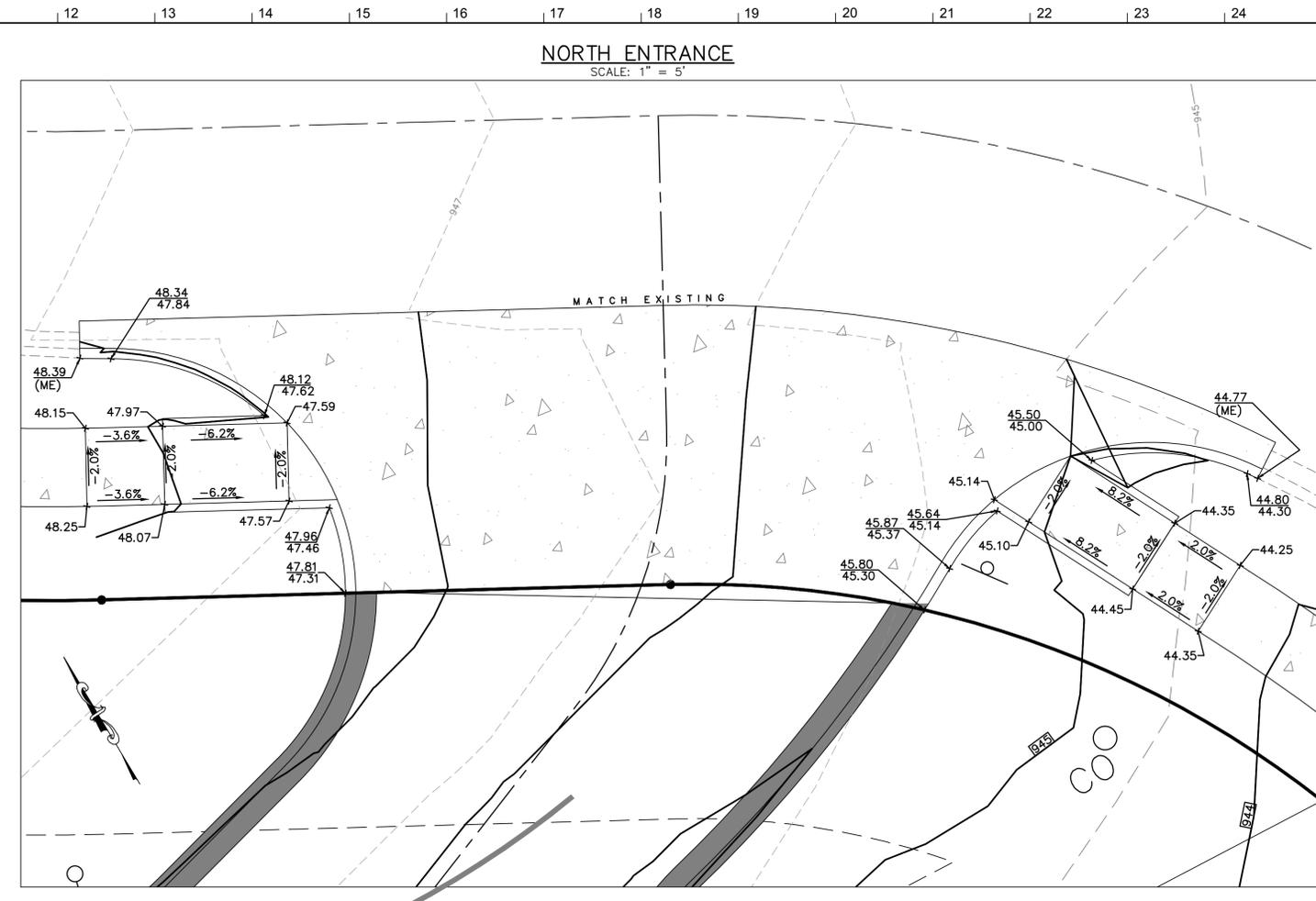
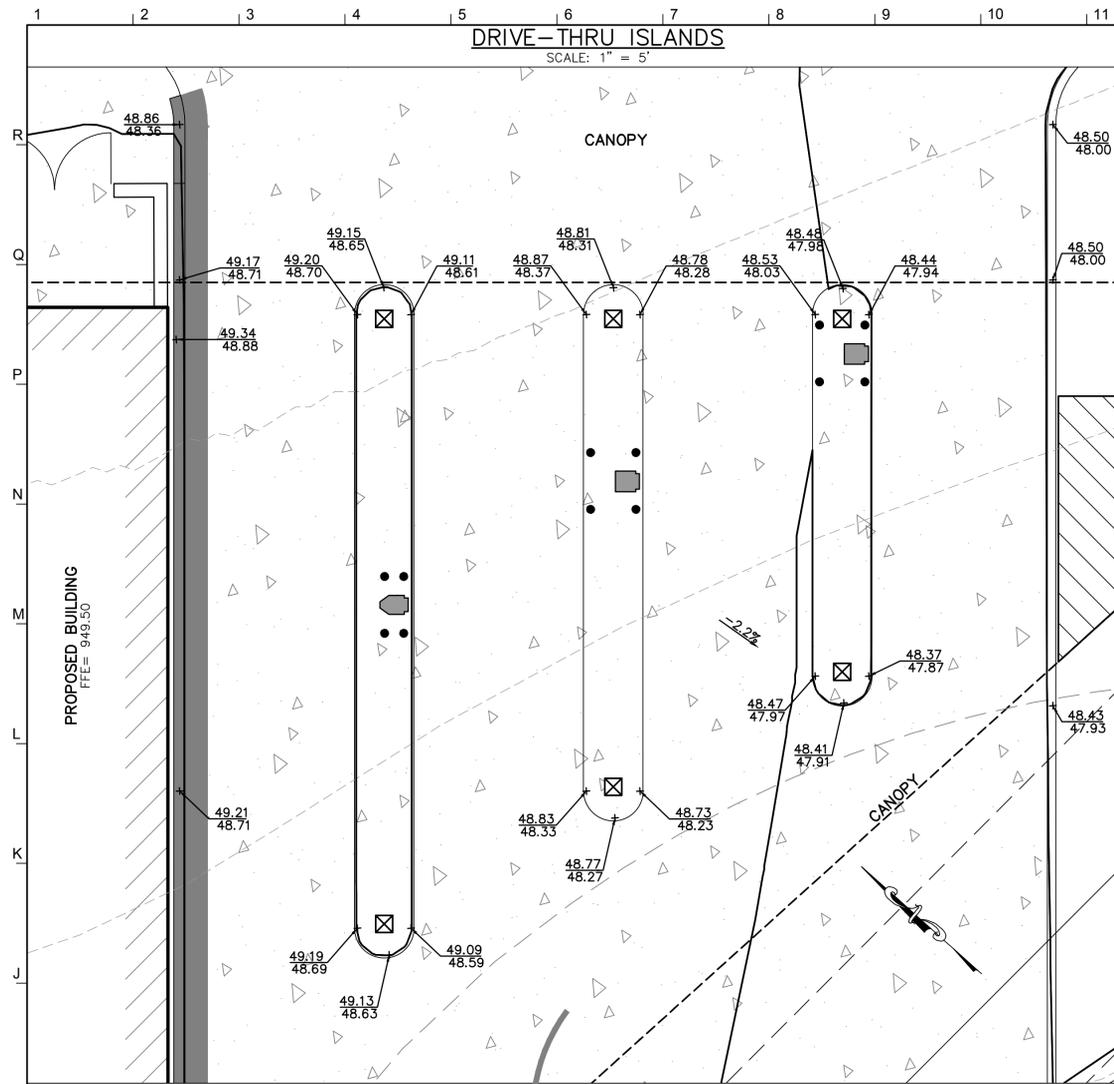
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Checked By: MAC

GRADING PLAN

**C3.0**

Project Number: 2023-169 © Copyright 2024





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Lenexa, KS 66215  
913-492-2400

Structural Engineer  
Apex Engineers, Inc.  
1625 Locust Street  
Kansas City, MO 64108  
816-421-3222



**Nodaway Valley Bank - Smithville Branch**

1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank  
P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

ISSUED FOR:  
Site Plan Review 14 June 2024

Missouri Certificate of Authority: #ARC000344

**FOR REVIEW**

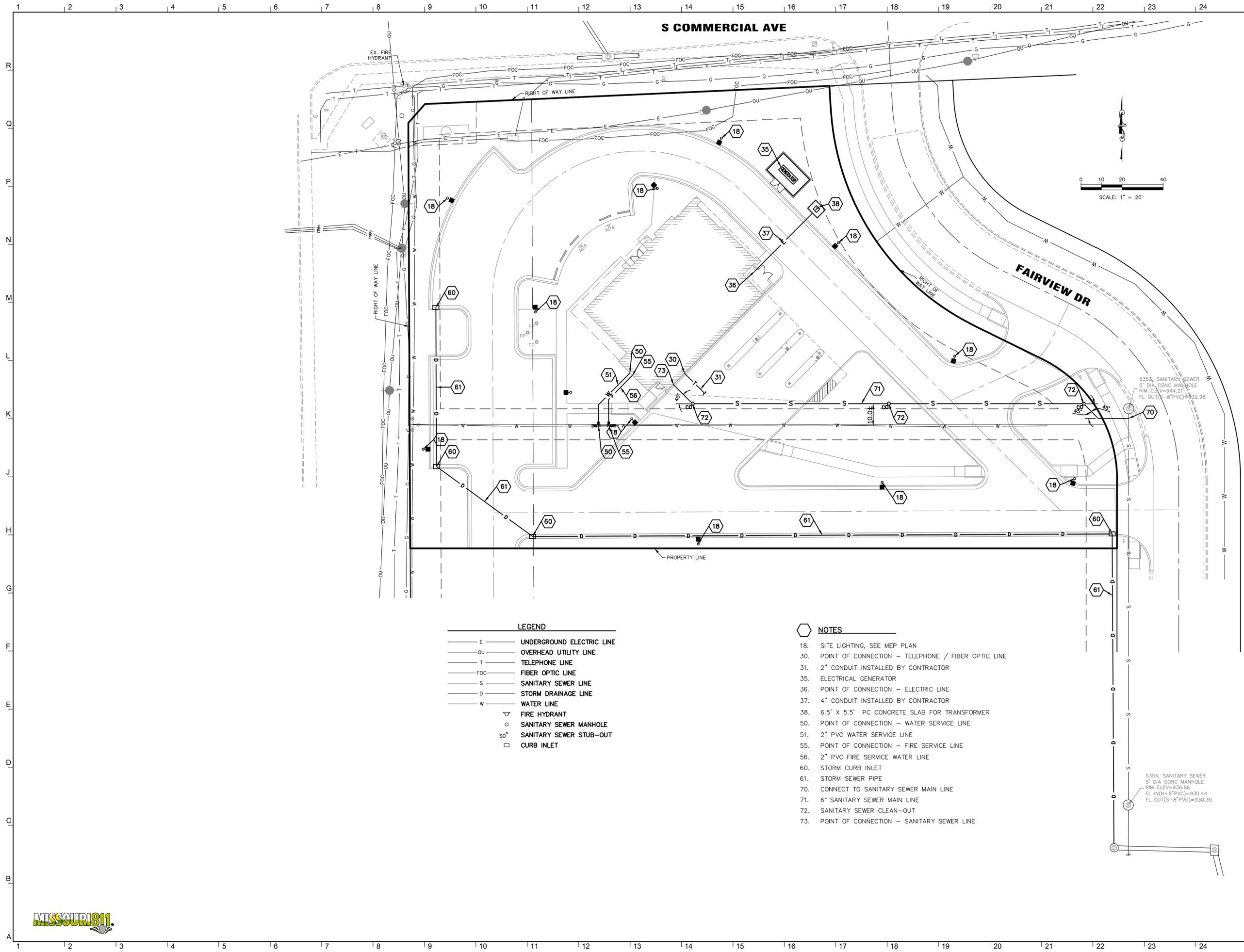
Drawn By: JAD  
Checked By: MAC

GRADING PLAN

**C3.2**

Project Number: 2023-169 © Copyright 2024

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**LEGEND**

— E —	UNDERGROUND ELECTRIC LINE
— OU —	OVERHEAD UTILITY LINE
— T —	TELEPHONE LINE
— FOC —	FIBER OPTIC LINE
— S —	SANITARY SEWER LINE
— D —	STORM DRAINAGE LINE
— W —	WATER LINE
⊕	FIRE HYDRANT
○	SANITARY SEWER MANHOLE
so°	SANITARY SEWER STUB-OUT
□	CURB INLET

- NOTES**
18. SITE LIGHTING, SEE MEP PLAN
  30. POINT OF CONNECTION - TELEPHONE / FIBER OPTIC LINE
  31. 2" CONDUIT INSTALLED BY CONTRACTOR
  35. ELECTRICAL GENERATOR
  36. POINT OF CONNECTION - ELECTRIC LINE
  37. 4" CONDUIT INSTALLED BY CONTRACTOR
  38. 6.5' X 5.5' PC CONCRETE SLAB FOR TRANSFORMER
  50. POINT OF CONNECTION - WATER SERVICE LINE
  51. 2" PVC WATER SERVICE LINE
  55. POINT OF CONNECTION - FIRE SERVICE LINE
  56. 2" PVC FIRE SERVICE WATER LINE
  60. STORM CURB INLET
  61. STORM SEWER PIPE
  70. CONNECT TO SANITARY SEWER MAIN LINE
  71. 6" SANITARY SEWER MAIN LINE
  72. SANITARY SEWER CLEAN-OUT
  73. POINT OF CONNECTION - SANITARY SEWER LINE

5353 SANITARY SEWER  
5" DIA CONC MANHOLE  
RIM ELEV=944.21  
FL IN(N=8" PVC)=932.98  
FL OUT(S=8" PVC)=932.98

5354, SANITARY SEWER  
5" DIA CONC MANHOLE  
RIM ELEV=936.86  
FL IN(N=8" PVC)=930.44  
FL OUT(S=8" PVC)=930.39

**GastingerWalker &**  
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8040 North Oak Trafficway  
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**FOR REVIEW**

Drawn By JAD  
Checked By MAC

UTILITY PLAN

**C4.0**

Project Number: 2023.169 © Copyright 2024

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# COMMERCIAL AVE.

# US-169 HWY



## Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
  - a. Creeping groundcover shall be a minimum of 6" from paving edge.
  - b. All trees shall be a minimum of 3' from paving edge.
  - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
  - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
6. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

### Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

### Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
5. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

## Landscape Calculations

### Building Buffer Zones.

- (1) For each sixty (60) linear feet of the building buffer zone, a minimum of one (1) deciduous tree is required.
  - (2) For each seventy (70) linear feet of the building buffer zone, a minimum of one (1) ornamental flowering tree is required.
  - (3) For each seventy-five (75) linear feet of the building buffer zone, a minimum of three (3) shrubs or low stature evergreen bushes is required.
- Requirements Met

### Parking Buffer Zones

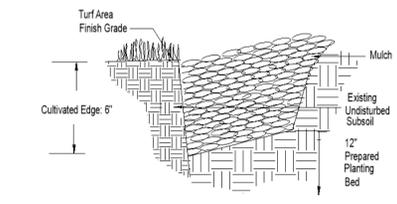
- (1) For each sixty (60) linear feet of the parking buffer zone, one (1) deciduous or one (1) ornamental flowering tree is required.
  - (2) For each fifty (50) linear feet of the parking buffer zone, one (1) shrub or low stature evergreen bush is required.
- Requirements Met

### Street Landscaping

- a. In areas where a parking lot is adjacent to the street, the plan shall include low hedges, ornamental grasses or low walls and one (1) ornamental flowering tree for every seventy-five (75) linear feet of property line. The number, size and spacing of low features and/or plantings shall be such that the parking lot shall be effectively screened from view without obstructing traffic movements from and to the lot.
  - b. In areas where the building is adjacent to the street, there shall be one (1) large stature deciduous tree or two (2) ornamental flowering trees for every seventy-five (75) linear feet and three (3) shrubs for every forty (40) linear feet of property line. Attractive clustering of the required plantings is encouraged.
- Requirements Met

### Landscape Screening

- Screening Of Trash Dumpsters And Storage Containers. All trash dumpsters and storage containers shall be screened on all sides with an enclosure equal to the height of the containers. Each enclosure shall consist of solid walls and shall match the color, materials and design of the building.
- Requirement Met



**2 CULTIVATED EDGE DETAIL**  
SCALE: NTS

**1 LANDSCAPE PLAN**  
SCALE: 1"=20'-0"

## Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
<b>OVERSTORY TREES</b>							
	5	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2.5"	6'	min. clear, ground to canopy	
	3	Acer x truncatum 'Warrenred'	Pacific Sunset Maple	2.5"	6'	min. clear, ground to canopy	
<b>EVERGREEN TREES</b>							
	0	Thuja plicata	Green Giant Arborvitae	6'	ht.		symmetrical pyramidal form
	6	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6'	ht.		symmetrical pyramidal form
<b>ORNAMENTAL TREES</b>							
	5	Cercis canadensis	Eastern Redbud		1.5"		
<b>DECIDUOUS SHRUBS/GRASSES</b>							
	5	Spiraea x bumalda 'Limemound'	Limemound spirea	5 gal.			Plant @ 3' O.C.
	12	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	0	Syringa x 'Penda'	Blooming Purple Lilac	3 gal.			Plant @ 5' O.C.
<b>EVERGREEN SHRUBS</b>							
	31	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	14	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
	0	Juniperus chinensis 'Spartan'	Spartan Juniper	5' ht.			Symmetrical pyramidal form
<b>EXISTING TREES/SHRUBS TO BE REMOVED</b>							
<b>EXISTING TREES/SHRUBS TO BE PRESERVED</b>							

### TREE PLANTING NOTES:

- 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
- 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
- 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
- 4) APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK
- 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL
- 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL. (REMOVE WIRE BASKETS)
- 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL. TYP

### STAKING REQUIREMENTS:

- 1) WIRE / CABLE SHALL BE GALV. 12-GAUGE
- 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
- 3) STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

### PERENNIAL PLANTING NOTES:

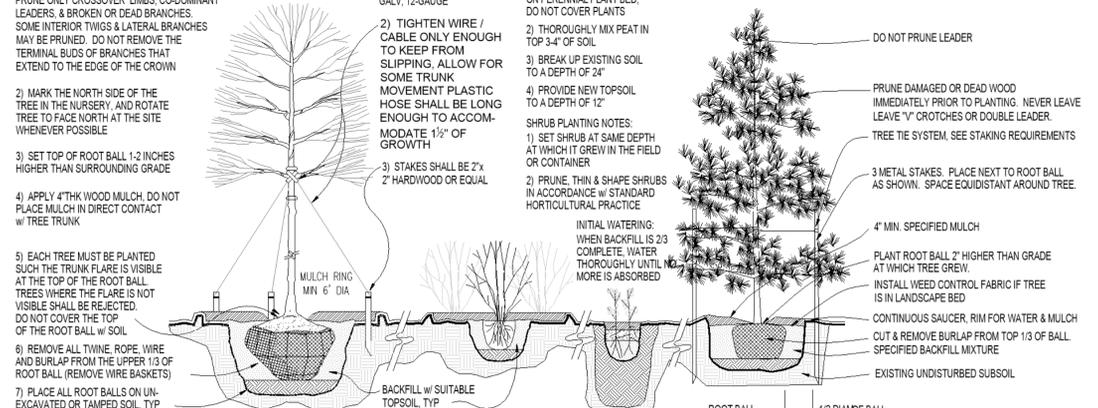
- 1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
- 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
- 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
- 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

### SHRUB PLANTING NOTES:

- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
- 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE

### INITIAL WATERING:

- WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED

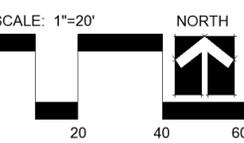


**3 PLANTING INSTALLATION DETAILS**  
SCALE: NTS



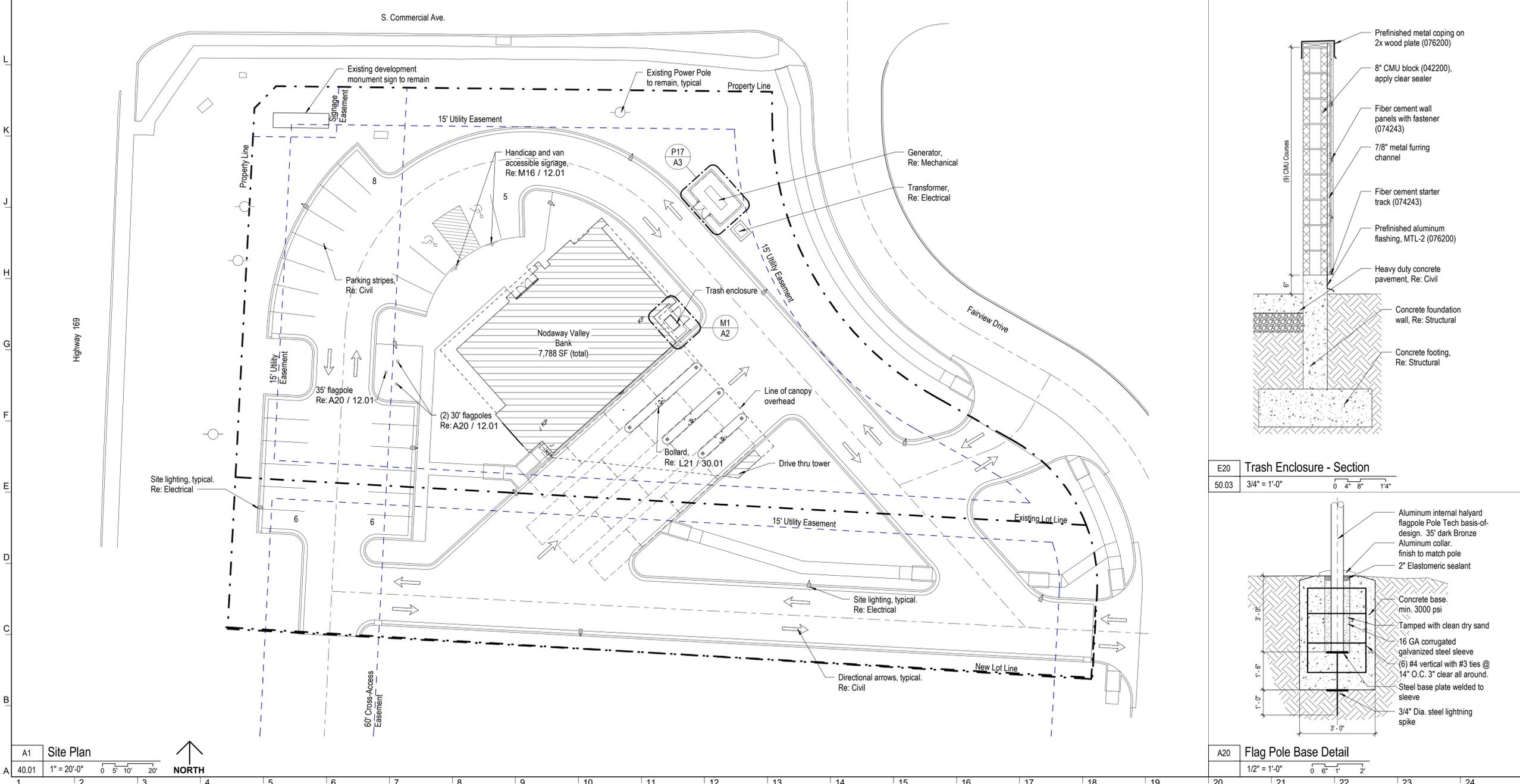
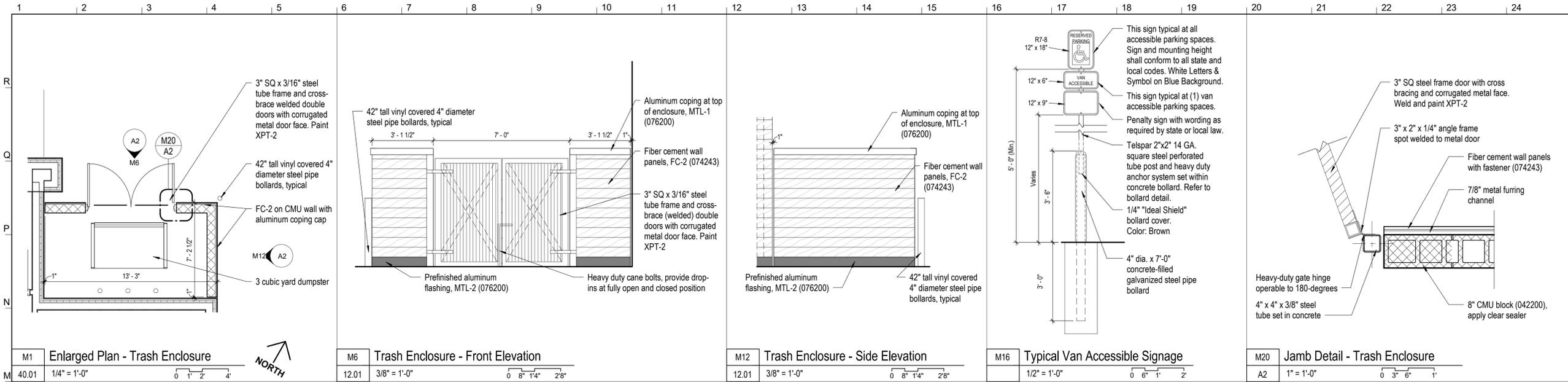
CLIENT  
Nodaway Valley Bank

PROJECT  
Nodaway Valley Bank  
SE Cor US-169 Hwy and  
Commercial Ave.  
Smithville MO



Date: 6.21.2024  
Project #: 1160  
Landscape Plan





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 Kaw Valley Engineering  
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 816-364-5678

ISSUED FOR:  
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Missouri Certificate of Authority: #ARC000344

NOT FOR CONSTRUCTION

Drawn By: SW  
 Checked By: AM  
 Architectural Site Plan

**A2**



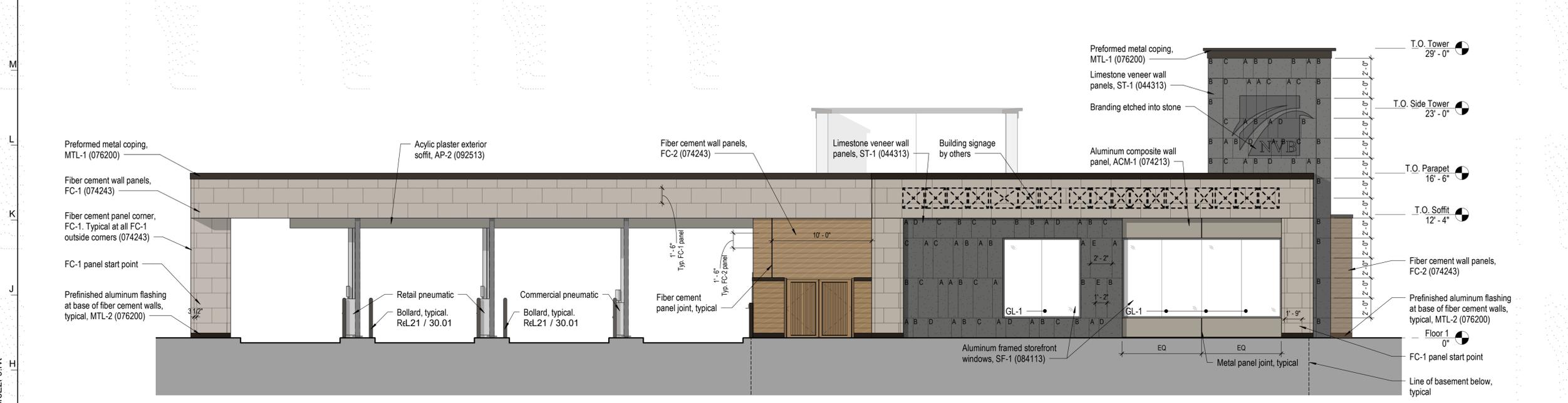
Material Legend:			
GL-1	Insulated Vision Glazing (088000) - Solarban 90 Clear+Clear Insulating Glass Unit	AP-1	Acrylic Plaster Soffit (092513) - STO StoQuik Gold Finish System, color to match FC-2
MTL-1	Prefinished Metal Coping (076200) - Dark Bronze	AP-2	Acrylic Plaster Soffit (092513) - STO StoQuik Gold Finish System, color to match ACM-1
MTL-2	Prefinished Metal Flashing (076200) - Dark Bronze	SFB-1	Split Face Block (042200) - 8" split face CMU block, color to match FC-1
FC-1	Fiber cement wall panel (074243) - Nichiha Sandstone 'Desert Beige,' 6' panels 10mm off substrate, sealed joint, back ventilated rainscreen with concealed fastening. Sealant color to be reviewed/approved by architect.	XPT-1	Paint (099123) - Sherwin Williams exterior paint, color to match FC-1
FC-2	Fiber cement wall panel (074243) - Nichiha Vintage Wood 'Cedar,' 10' panels 10mm off substrate, sealed joint, back ventilated rainscreen with concealed fastening. Sealant color to be reviewed/approved by architect.	XPT-2	Paint (099123) - Sherwin Williams exterior paint, color to match FC-2
ACM-1	Aluminum Composite Wall Panel (074213), Alpolic preformed panel. "route and return" dry seal system. Finish: Mica MCU Champagne		
SF-1	Aluminum and Glass Storefront System (084413) Kawneer Trifab 451T (thermal) 2" sightline x 4-1/2" depth Vertical SSG mullions (non-perimeter). Finish: Dark Bronze		
ST-1	Limestone Veneer Wall Panels (044313), Brushed Finish in Plaza Grey		

Glazing Calculation	
North Elevation:	177 SF glazing / 1,487 SF total = 11.9% glazing
East Elevation:	24 SF glazing / 1,407 SF total = 1.7% glazing
South Elevation:	219 SF glazing / 1,617 SF total = 13.5% glazing
West Elevation:	376 SF glazing / 1,605 SF total = 23.4% glazing

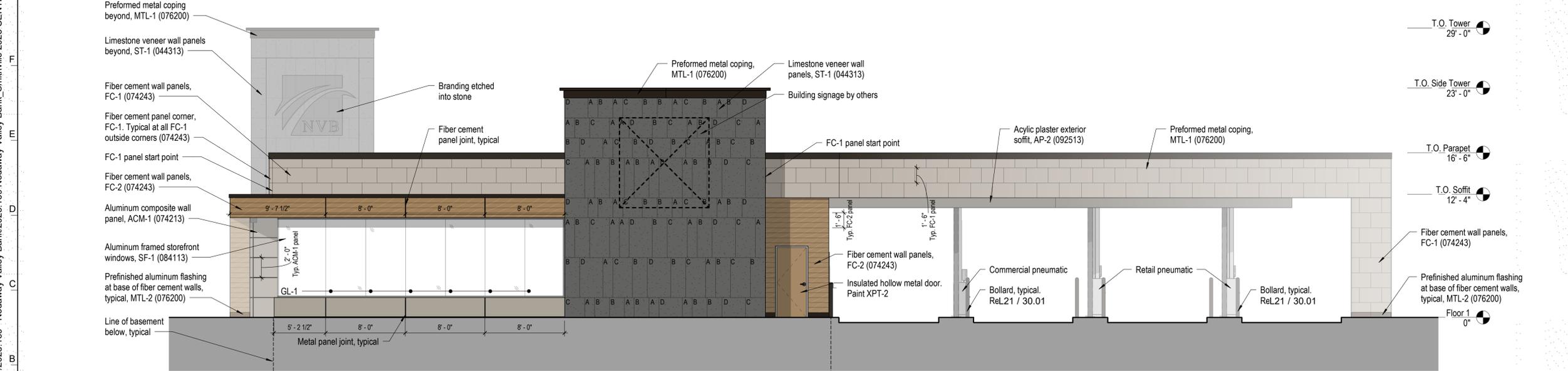
Limestone Veneer Wall Panels ST-1 Width Legend	
A	12"
B	18"
C	24"
D	28"
E	Varies - Field Verify Size

Refer to Elevations for Height

Signage Calculation	
North Elevation:	68 SF signage / 1,487 SF total = 4.6% signage
East Elevation:	0 SF signage / 1,407 SF total = 0% signage
South Elevation:	81 SF signage / 1,617 SF total = 5% signage
West Elevation:	104 SF signage / 1,605 SF total = 6.5% signage
Total:	253 SF signage



G1	North Elevation
12.01	3/16" = 1'-0" 0 1'-4" 2'-8" 5'-4"



A1	South Elevation
30.01	3/16" = 1'-0" 0 1'-4" 2'-8" 5'-4"

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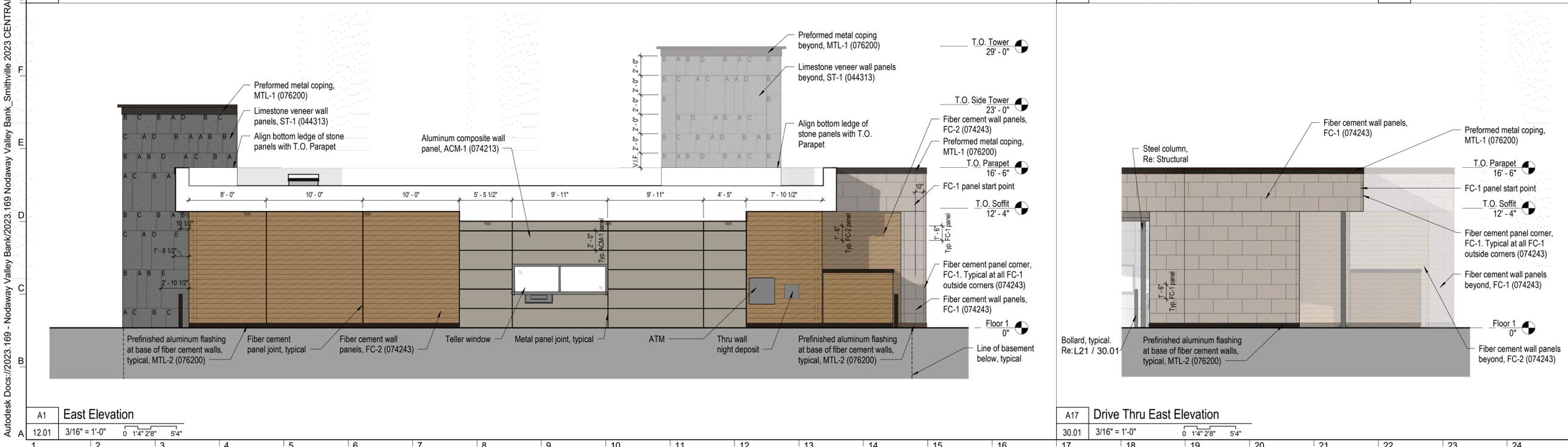
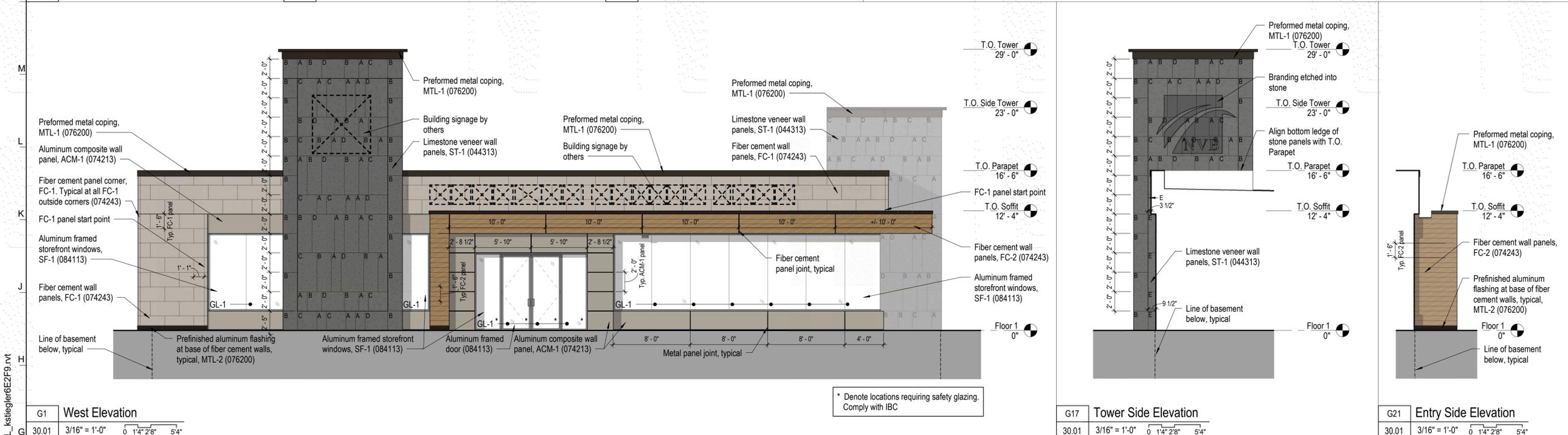
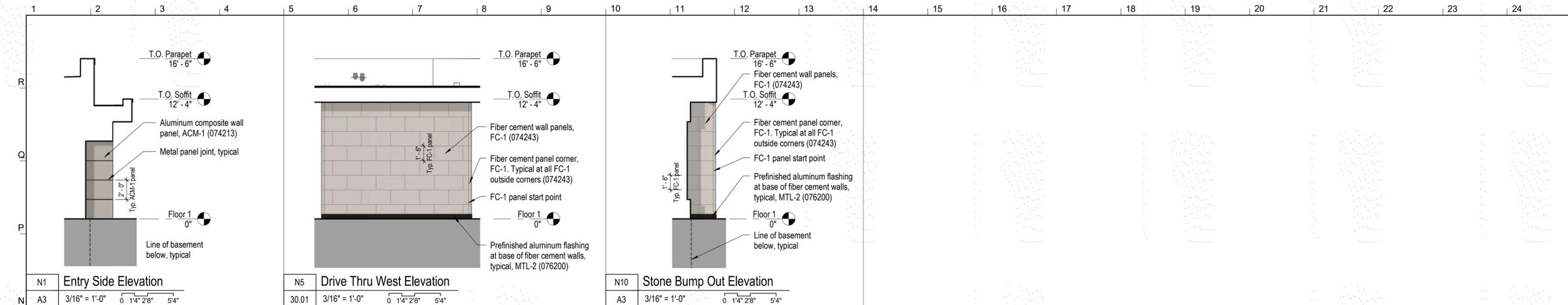
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 Checked By: AM

Exterior Elevations

**A4**

Autodesk Docs://2023.169 - Nodaway Valley Bank/2023.169 Nodaway Valley Bank\_Smithville 2023 CENTRAL\_kstieglert2f9.rvt



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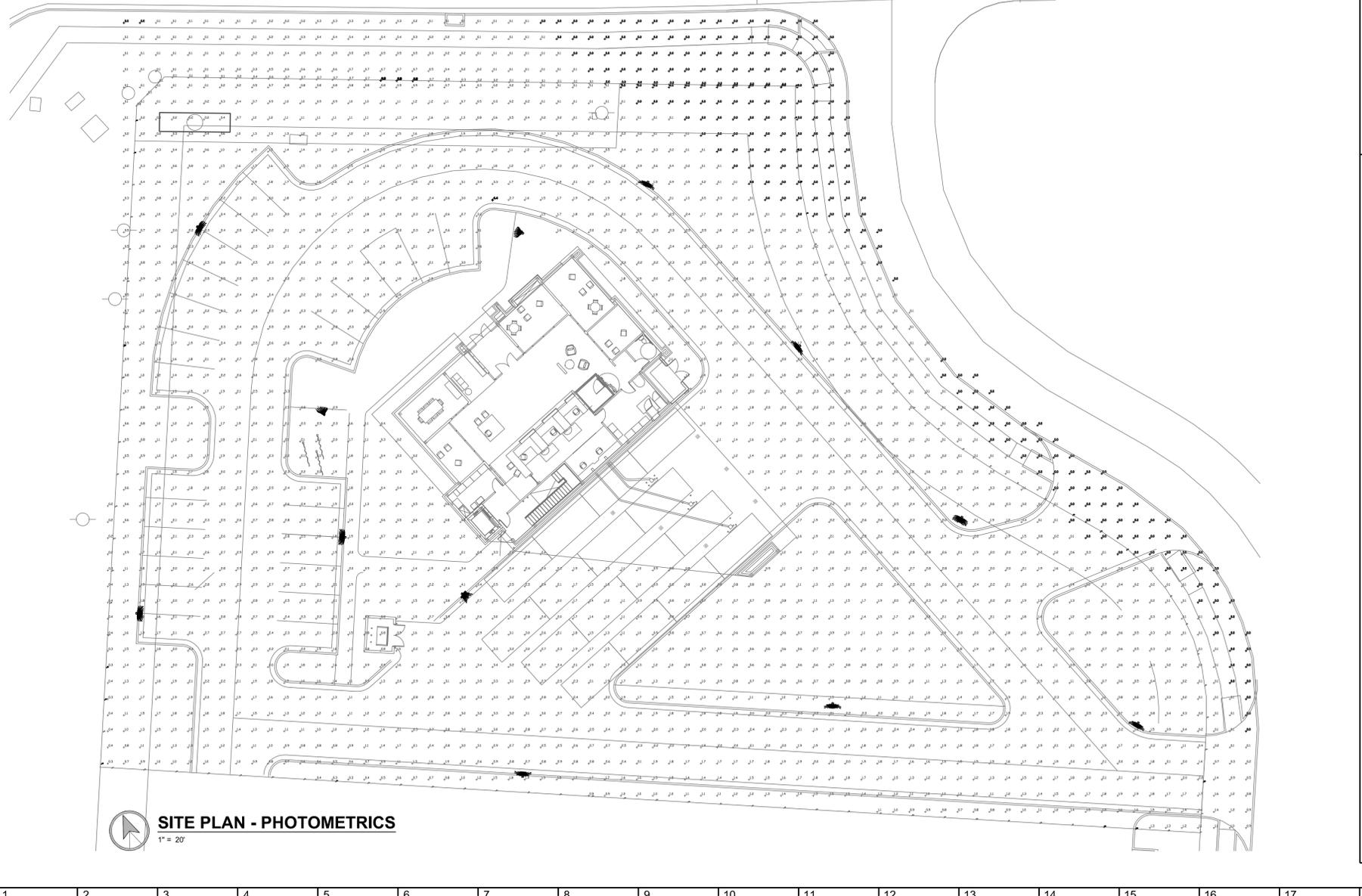
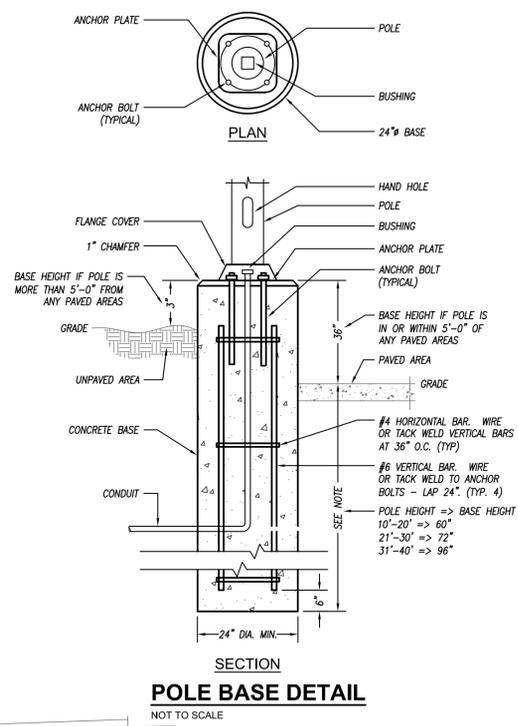
Drawn By SW  
 Checked By AM

Exterior Elevations

### PARKING LOT STATISTICS

DESCRIPTION	MAINTAINED LIGHTING LEVELS			UNIFORMITY	
	AVG. (F.C.)	MAX. (F.C.)	MIN. (F.C.)	MAX. / MIN.	AVG. / MIN.
PARKING LOT/DRIVE	2.0	4.4	0.4	11.0:1	5.0:1
NORTHEAST BOUNDARY	0.3	0.8	0.0	N/A	N/A
SOUTHEAST BOUNDARY	0.2	1.8	0.0	N/A	N/A
SOUTHWEST BOUNDARY	0.9	1.3	0.3	4.3:1	3.0:1
NORTHWEST BOUNDARY	0.4	0.9	0.2	4.5:1	2.0:1

**NOTES:**  
 1. NUMBERS INDICATE FOOTCANDLE LEVELS AT GRADE.  
 2. CALCULATIONS PERFORMED USING VISUAL 2.05.  
 3. THERE SHALL BE NO DIRECT ILLUMINATION OF RESIDENTIAL PROPERTIES ADJACENT TO THIS PROPERTY OR ACROSS PUBLIC RIGHT-OF-WAY.



Project	Catalog #	Type
Prepared by	Notes	Date



**McGraw-Edison**  
**GLEON Galleon**  
 Area / Site Luminaire

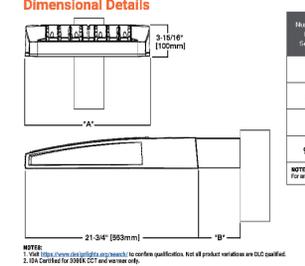
**Product Features**  
 Luminaire Technology, Light Adjuster, BAA

- Interactive Menu**
- Ordering Information page 2
  - Mounting Details page 3
  - Optical Distributions page 4
  - Product Specifications page 4
  - Energy and Performance Data page 4
  - Control Options page 9



- Quick Facts**
- Lumen packages range from 4,200 - 80,800 (34W - 640W)
  - Efficacy up to 155 lumens per watt
  - Options to meet Buy American and other domestic preference requirements

- Connected Systems**
- WaveLinx
  - Enlighted



Number of Luminaire	A' Width	B' Standard Arm Length	C' Extended Arm Length	D' OMA Arm Length	E' OMA Length	F' OMA Length
1-4	15-1/2"	7"	10"	10-5/8"	--	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	--	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	10-5/16"	--
9-10	33-3/4"	7"	16"	--	10-5/16"	--

**NOTES:**  
 1. See <https://www.dynalight.com/tech> to confirm qualifications. Not all product variations are UL certified.  
 2. UL Certified for 200K VOLT and over use only.

**COOPER** Lighting Solutions  
 P8500022EN page 1  
 February 25, 2024 6:10 PM

**McGraw-Edison** **GLEON Galleon**

**Ordering Information**  
 SAMPLE NUMBER: GLEON-SA4C-740-U-74FT-GM

Product Family	Configuration	Color Temperature	Voltage	Distributions	Mounting	Finish
GLEON-Column	SA4T1 Square	4000K	120/208V	10' Type I	Bracket	Black
GLEON-Column	SA4T2 Square	4000K	120/208V	10' Type II	Bracket	Black
GLEON-Column	SA4T3 Square	4000K	120/208V	10' Type III	Bracket	Black
GLEON-Column	SA4T4 Square	4000K	120/208V	10' Type IV	Bracket	Black
GLEON-Column	SA4T5 Square	4000K	120/208V	10' Type V	Bracket	Black
GLEON-Column	SA4T6 Square	4000K	120/208V	10' Type VI	Bracket	Black
GLEON-Column	SA4T7 Square	4000K	120/208V	10' Type VII	Bracket	Black
GLEON-Column	SA4T8 Square	4000K	120/208V	10' Type VIII	Bracket	Black
GLEON-Column	SA4T9 Square	4000K	120/208V	10' Type IX	Bracket	Black
GLEON-Column	SA4T10 Square	4000K	120/208V	10' Type X	Bracket	Black

**NOTES:**  
 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to the manufacturer's specifications for additional support.  
 2. Refer to the manufacturer's specifications for additional support.  
 3. Luminaire is not to be used in wet or damp locations unless specifically designed for such use.  
 4. Luminaire is not to be used in hazardous locations unless specifically designed for such use.  
 5. Luminaire is not to be used in corrosive environments unless specifically designed for such use.  
 6. Luminaire is not to be used in high temperature environments unless specifically designed for such use.  
 7. Luminaire is not to be used in high vibration environments unless specifically designed for such use.  
 8. Luminaire is not to be used in high wind environments unless specifically designed for such use.  
 9. Luminaire is not to be used in high salt environments unless specifically designed for such use.  
 10. Luminaire is not to be used in high humidity environments unless specifically designed for such use.  
 11. Luminaire is not to be used in high dust environments unless specifically designed for such use.  
 12. Luminaire is not to be used in high smoke environments unless specifically designed for such use.  
 13. Luminaire is not to be used in high steam environments unless specifically designed for such use.  
 14. Luminaire is not to be used in high acid environments unless specifically designed for such use.  
 15. Luminaire is not to be used in high alkali environments unless specifically designed for such use.  
 16. Luminaire is not to be used in high sulfur environments unless specifically designed for such use.  
 17. Luminaire is not to be used in high chlorine environments unless specifically designed for such use.  
 18. Luminaire is not to be used in high bromine environments unless specifically designed for such use.  
 19. Luminaire is not to be used in high iodine environments unless specifically designed for such use.  
 20. Luminaire is not to be used in high phosphorus environments unless specifically designed for such use.  
 21. Luminaire is not to be used in high sulfur dioxide environments unless specifically designed for such use.  
 22. Luminaire is not to be used in high nitrogen dioxide environments unless specifically designed for such use.  
 23. Luminaire is not to be used in high carbon monoxide environments unless specifically designed for such use.  
 24. Luminaire is not to be used in high carbon dioxide environments unless specifically designed for such use.  
 25. Luminaire is not to be used in high hydrogen sulfide environments unless specifically designed for such use.  
 26. Luminaire is not to be used in high hydrogen cyanide environments unless specifically designed for such use.  
 27. Luminaire is not to be used in high ammonia environments unless specifically designed for such use.  
 28. Luminaire is not to be used in high nitric oxide environments unless specifically designed for such use.  
 29. Luminaire is not to be used in high nitrous oxide environments unless specifically designed for such use.  
 30. Luminaire is not to be used in high acetylene environments unless specifically designed for such use.  
 31. Luminaire is not to be used in high ethylene environments unless specifically designed for such use.  
 32. Luminaire is not to be used in high ethane environments unless specifically designed for such use.  
 33. Luminaire is not to be used in high propane environments unless specifically designed for such use.  
 34. Luminaire is not to be used in high butane environments unless specifically designed for such use.  
 35. Luminaire is not to be used in high pentane environments unless specifically designed for such use.  
 36. Luminaire is not to be used in high hexane environments unless specifically designed for such use.  
 37. Luminaire is not to be used in high heptane environments unless specifically designed for such use.  
 38. Luminaire is not to be used in high octane environments unless specifically designed for such use.  
 39. Luminaire is not to be used in high nonane environments unless specifically designed for such use.  
 40. Luminaire is not to be used in high decane environments unless specifically designed for such use.  
 41. Luminaire is not to be used in high undecane environments unless specifically designed for such use.  
 42. Luminaire is not to be used in high dodecane environments unless specifically designed for such use.  
 43. Luminaire is not to be used in high tridecane environments unless specifically designed for such use.  
 44. Luminaire is not to be used in high tetradecane environments unless specifically designed for such use.  
 45. Luminaire is not to be used in high pentadecane environments unless specifically designed for such use.  
 46. Luminaire is not to be used in high hexadecane environments unless specifically designed for such use.  
 47. Luminaire is not to be used in high heptadecane environments unless specifically designed for such use.  
 48. Luminaire is not to be used in high octadecane environments unless specifically designed for such use.  
 49. Luminaire is not to be used in high nonadecane environments unless specifically designed for such use.  
 50. Luminaire is not to be used in high eicosane environments unless specifically designed for such use.

**Luminaire Integrated Network Security Camera Technology Options (Add as Suffix)**

Product Family	Camera Type	Order Suffix
Luminaire Technology	2-Megapixel Dome Camera	D-2M
Luminaire Technology	4-Megapixel Dome Camera	D-4M
Luminaire Technology	8-Megapixel Dome Camera	D-8M
Luminaire Technology	16-Megapixel Dome Camera	D-16M
Luminaire Technology	32-Megapixel Dome Camera	D-32M
Luminaire Technology	64-Megapixel Dome Camera	D-64M
Luminaire Technology	128-Megapixel Dome Camera	D-128M
Luminaire Technology	256-Megapixel Dome Camera	D-256M
Luminaire Technology	512-Megapixel Dome Camera	D-512M
Luminaire Technology	1024-Megapixel Dome Camera	D-1024M
Luminaire Technology	2048-Megapixel Dome Camera	D-2048M
Luminaire Technology	4096-Megapixel Dome Camera	D-4096M
Luminaire Technology	8192-Megapixel Dome Camera	D-8192M
Luminaire Technology	16384-Megapixel Dome Camera	D-16384M
Luminaire Technology	32768-Megapixel Dome Camera	D-32768M
Luminaire Technology	65536-Megapixel Dome Camera	D-65536M
Luminaire Technology	131072-Megapixel Dome Camera	D-131072M
Luminaire Technology	262144-Megapixel Dome Camera	D-262144M
Luminaire Technology	524288-Megapixel Dome Camera	D-524288M
Luminaire Technology	1048576-Megapixel Dome Camera	D-1048576M
Luminaire Technology	2097152-Megapixel Dome Camera	D-2097152M
Luminaire Technology	4194304-Megapixel Dome Camera	D-4194304M
Luminaire Technology	8388608-Megapixel Dome Camera	D-8388608M
Luminaire Technology	16777216-Megapixel Dome Camera	D-16777216M
Luminaire Technology	33554432-Megapixel Dome Camera	D-33554432M
Luminaire Technology	67108864-Megapixel Dome Camera	D-67108864M
Luminaire Technology	134217728-Megapixel Dome Camera	D-134217728M
Luminaire Technology	268435456-Megapixel Dome Camera	D-268435456M
Luminaire Technology	536870912-Megapixel Dome Camera	D-536870912M
Luminaire Technology	1073741824-Megapixel Dome Camera	D-1073741824M
Luminaire Technology	2147483648-Megapixel Dome Camera	D-2147483648M
Luminaire Technology	4294967296-Megapixel Dome Camera	D-4294967296M
Luminaire Technology	8589934592-Megapixel Dome Camera	D-8589934592M
Luminaire Technology	17179869184-Megapixel Dome Camera	D-17179869184M
Luminaire Technology	34359738368-Megapixel Dome Camera	D-34359738368M
Luminaire Technology	68719476736-Megapixel Dome Camera	D-68719476736M
Luminaire Technology	137438953472-Megapixel Dome Camera	D-137438953472M
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Luminaire Technology	549755813888-Megapixel Dome Camera	D-549755813888M
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Luminaire Technology	2199023255552-Megapixel Dome Camera	D-2199023255552M
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Luminaire Technology	6338253000602662026315789525060606505050532-Megapixel Dome Camera	D-6338253000602662026315789525060606505050532M
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Luminaire Technology	81129638407711567284421052631578960499393939396-Megapixel Dome Camera	D-81129638407711567284421052631578960499393939396M
Luminaire Technology	16225927681543313355688421052631578961698787878792-Megapixel Dome Camera	D-16225927681543313



## Planning and Zoning Commission Procedural Summary

**MEETING DATE:** 7/9/2024

**ACTION ITEM:** Street Naming Changes

**AGENDA ITEM:** Street Designation and Name Changes

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### **REQUESTED COMMISSION ACTION:**

Review the various proposed designation changes or name changes and make a recommendation for the changes to be presented to the Board of Aldermen

### **SUMMARY OF PROCEDURE:**

There exists only an informal procedure for changing street names, and even less so for street designations. A name change would be Commercial St. to 148<sup>th</sup> St. A designation change would be Fourth St. Terrace To Fourth Terrace. An example of both a name change and a designation change would be changing 4<sup>th</sup> St. Terrace to Fourth Terrace. The policy behind the procedure is to improve potential areas of confusion; to insert consistent naming or designations; to improve 911 access by eliminating the above.

### **ATTACHMENTS:**

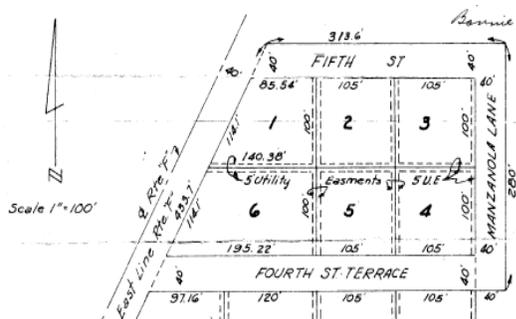
- Resolution
- Staff Report

- Plans
- Other:

<b>Date:</b>	June 24, 2024
<b>Prepared By:</b>	Jack Hendrix, Development Director
<b>Subject:</b>	Street Designations and Name Changes

In accordance with the discussion at the June 11, 2024 Planning and Zoning Commission meeting, staff has put together a list, along with plat maps or aerial photographs that show the streets that we discussed. As a result of Melissa Wilson's comment about potential other streets, we conducted additional research. What we found included several streets that have been platted, but never improved, as well as another short extension of those that was improved with confusing names. The streets are ordered from north to south in this memorandum.

### 5<sup>th</sup> St. Circle



McComas Acres – 1960

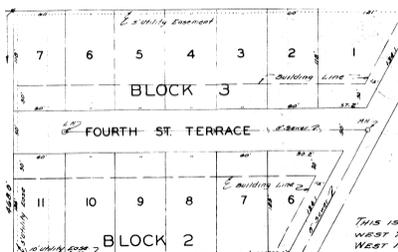


Weatherstone – 1988

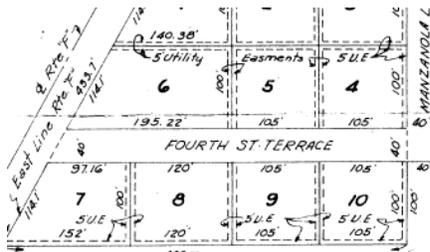
These subdivisions came 28 years apart, but they both have problems with current naming conventions. McComas Acres named the north street Fifth St., and Weatherstone named the extension of that street with the curve and cul-de-sac, 5<sup>th</sup> St. Circle. Staff recommends that the portion of Weatherstone identified as 5<sup>th</sup> St. Circle be renamed to Fifth Circle, or Fifth Dr.. As is shown in the aerial below, this street is currently undeveloped, so no impact to residents will occur.



Fourth St. Terrace



Walker's Add'n 1955



McComas Acres 1960



Weatherstone 1988

Fourth St. Terrace naming started in 1955, McComas Acres extended the street and name in 1960, and Weatherstone extended the street and changed the name to 4<sup>th</sup> St. Terrace. Staff recommends that the portions in Walker's Add'n and McComas Acres be changed from Fourth St. Terrace to simply Fourth Terrace. The Weatherstone street should be renamed from 4<sup>th</sup> St. Terrace to Fourth Terrace. As the following aerial shows, the Walker and McComas portions are constructed but Weatherstone is not constructed. For the residents affected by this change, it is only removing the street moniker and leaving the rest of the street name in place.



### Third St. Terrace



Walkers Add'n 1955

Weatherstone 1988

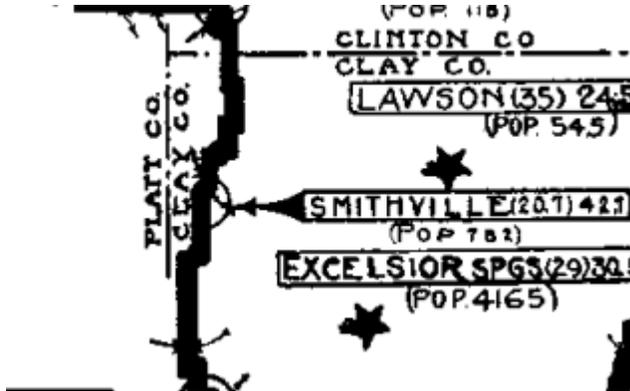
This street naming also began in 1955 with Third St. Terrace. In 1988 when Weatherston was platted, the name changed to 3<sup>rd</sup> Street Terrace. Staff recommends renaming the Walkers Add'n portion from Third St. Terrace to just Third Terrace. This change would minimally impact the residents of that street since the only change is to remove the St. portion and leave Third Terrace. The Weatherstone portion is completely undeveloped so there is no impact to residents of a change from 3<sup>rd</sup> Street Terrace to Third Terrace. The aerial below shows the area.



### Commercial Avenue

This street has multiple names shown on the various plats from Church Street to 169. There are also more unplatted lots located on the property than plats, the majority of which use "Commercial Street" in the call of the metes and bounds descriptions. For certain, it was initially intended to be Commercial Avenue inside the City Limits, as the Unrecorded Original Town Plat (prior to 1877) identified the street as Commercial

Avenue. Thereafter, the Kemp Woods Addition (1889) kept the Commercial Avenue name. We don't show any clear records after that date (until much more recently) but we know it was fully constructed circa 1924 as it was included in the Jefferson Highway International Tourist Guide as shown below.



It has been identified that the route of the Jefferson Highway followed 169 north, generally out of Nashua, and when it reached what is now Commercial Ave., then jogged to the right and followed the current Commercial Ave route until Main St., where it turned left to Bridge St., then travelled across the bridge. It turned right at Old F Hwy and followed that route through to Trimble. This would explain why the unplatted lots south of downtown refer to Commercial St. generally. One Plat (Emerald Ridge) shows the name to be Commercial Drive. The last plat on the route with a name on the street has it as Avenue, but the McDonalds is an unplatted lot and uses Street. The west side of 169 platted the street as Street.

Staff recommend changing the name throughout the route from Church Street south to Shamrock Way to either Commercial Avenue or Commercial Street to make the naming consistent. The remainder, from Shamrock Way to the end just west of 169 staff recommends that it be renamed 148<sup>th</sup> Street, which lines up with the other three-digit numbered streets throughout town.



If approved by the Commission, staff will submit Resolutions for the Board of Aldermen to consider for each of the street name changes.